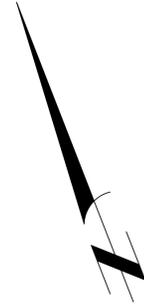
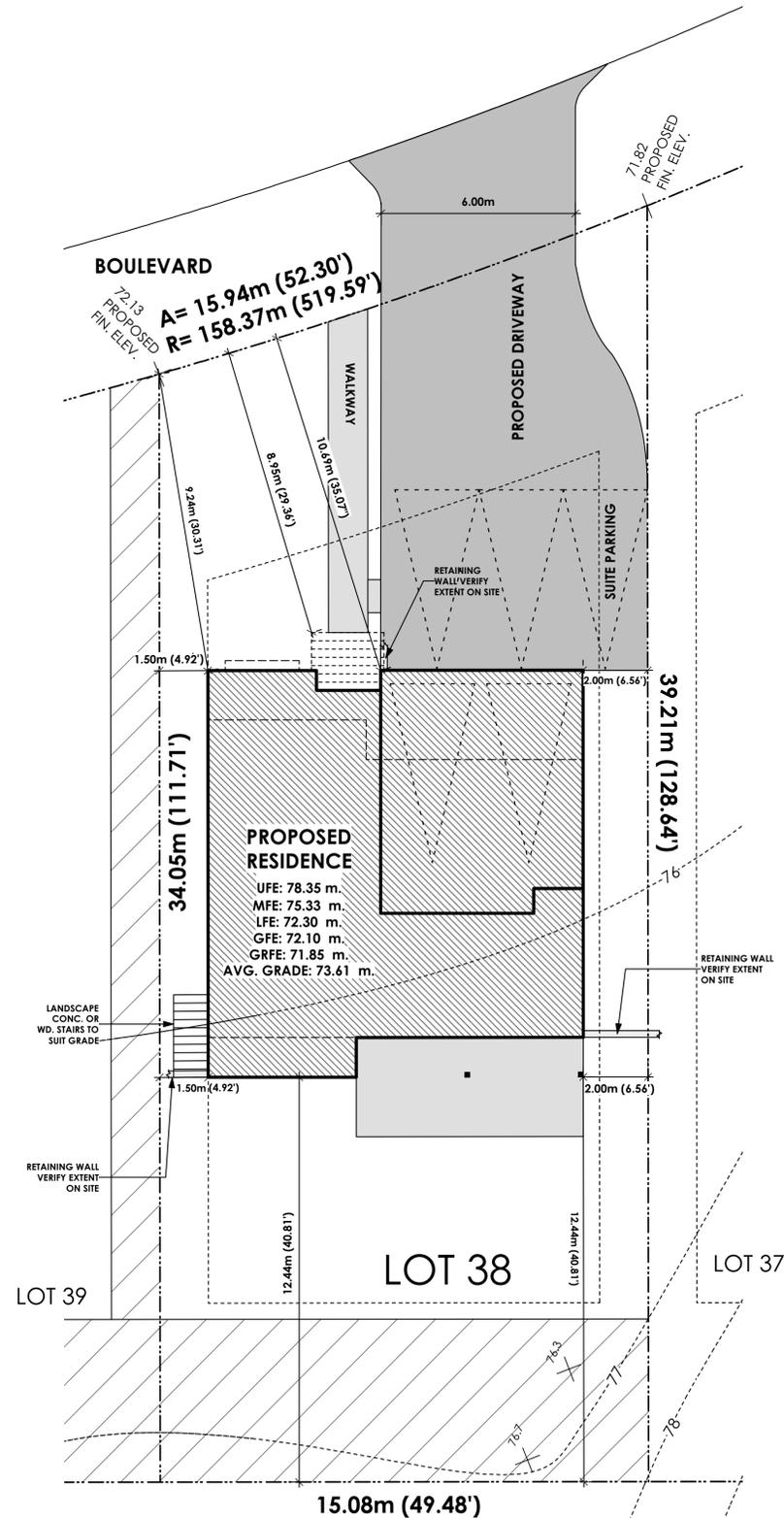


# SKETCH PLAN OF PROPOSED LOT 38 CIVIC: 3539 PAPERBARK CRESCENT LOTS 38, SECTION 70, METCHOSIN DISTRICT, PLAN 1957 Parcel Identifiers: 029-862-311



SITE DATA	RR-6A	LOT 38
ITEMS	PERMITTED	PROPOSED
LOT AREA		550.22 sq.m.
LOT COVERAGE	50.00 %	26.09 %
HEIGHT	9.00 m.	8.27 m.
SETBACKS		
- FRONT (NORTH)	4.50 m.	8.95 m.
- REAR (SOUTH)	5.50 m.	12.44 m.
- SIDE (WEST)	1.50 m.	1.50 m.
- SIDE (EAST)	1.50 m.	2.00 m.
- GARAGE	5.50 m.	10.69 m.
FLOOR AREA		
- UPPER		98.76 sq.m.
- MAIN		114.92 sq.m.
- LOWER		89.34 sq.m.
- GARAGE		45.50 sq.m.
SUBTOTAL FLOOR AREA		348.52 sq.m.

LEGEND  
Elevations are geodetic referred to Lanford Integrated Survey  
- denotes Green Space



1 Site Plan  
A2 Scale: 1:100

PROFESSIONAL SEALS

CONSULTANTS

LIST OF DRAWINGS

No.	DATE	ISSUED/REVISED
A1		General Notes
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A3		Elevations
A4		Foundation & Lower Floor Plans
A5		Main & Upper Floor Plans
A6		Section
D1		Rainscreen Details
D2		Rainscreen Details

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Structural Engineer to review plan (where required), and specify structure as deemed necessary. It is the responsibility of the owner or contractor to verify and commission all engineering requirements with municipal building departments prior to starting work.

Truss Manufacturer to review plans to verify roof design where eng. roof trusses are shown, and to contact building designer to advise if revisions are necessary.

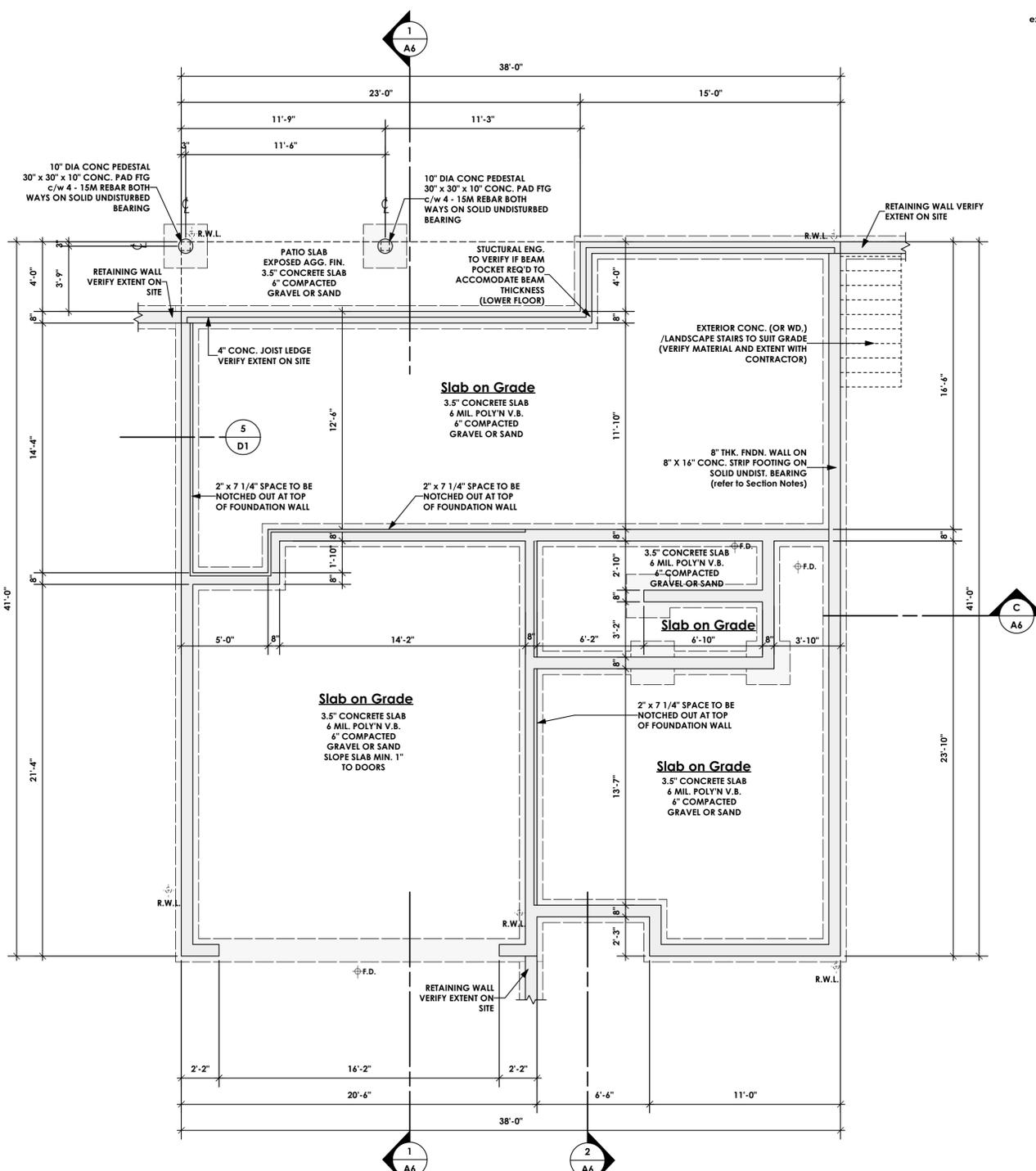
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	SHT. NO.	A2 OF A6
	DATE	Feb 14, 2018
	SCALE	As Shown
	DRAWN	N.S.
	REVIEWED BY	M.D.K.

**SITE PLAN**  
PROJECT Proposed Residence:  
Langdon Weir  
Construction Ltd.  
3539 Paperbark Cres.  
Lot 38 Latoria Rise  
Langford, B.C.

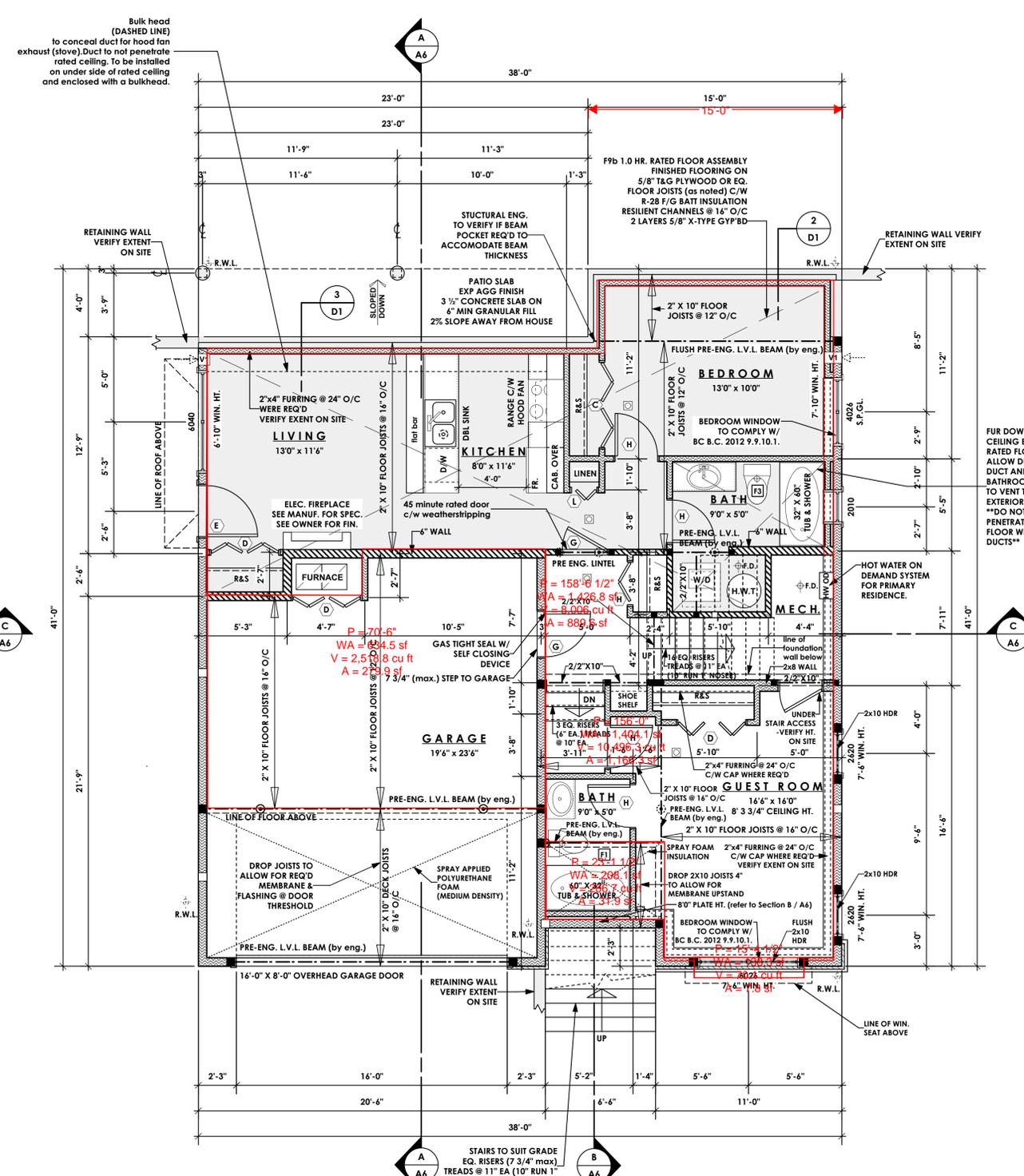




**1**  
**A4** **Foundation Plan**  
Scale: 1/4" = 1'-0"

CONTRACTOR TO REVIEW FOUNDATION DETAILS PRIOR TO FABRICATING CONCRETE FORMS.  
SLAB ON GRADE PORTIONS REQUIRE 1 1/2" THERMAL BREAK AND 2" X 7/16" "KNOCKOUT" IN FOUNDATION WALLS.  
CONTRACTOR TO VERIFY PLACEMENT OF RAIN WATER LEADERS (R.W.L.) PRIOR TO EXCAVATION

ALL STRUCTURE TO BE VERIFIED OR DESIGNED BY STRUCTURAL ENGINEER. STRUCTURAL ENGINEER TO LOCATE AND DESIGN REQUIRED EXTERIOR AND INTERIOR WALL BRACING TO RESIST LATERAL LOADS IN COMPLIANCE WITH B.C. BLDG. CODE 9.23.13.2. AND SUPPLY DETAILS IF REQUIRED.



**2**  
**A4** **Lower Floor Plan**  
Scale: 1/4" = 1'-0"

MAIN RESIDENCE: 390.19 sq.ft. (36.25 sq.m.)  
SECONDARY SUITE: 571.46 sq.ft. (53.09 sq.m.)  
GARAGE: 489.76 sq.ft. (45.50 sq.m.)

■ SOLID BLOCKING  
□ B/U WD POST (LOAD ABOVE)  
● POINT LOAD  
☑ Interconnected Smoke detectors to comply with B.C.B.C. 9.10.19. Interconnected Carbon Monoxide detectors to comply with B.C.B.C. 9.32.4.2.

**Mechanical Exhaust Fans**  
F1 23L/s (50 CFM) Intermittent OR 9 L/s (20 CFM) continuous  
F2 35L/s (60 CFM) continuous  
F3 14L/s (30 CFM) continuous  
V1 Passive supply grille 25cm<sup>2</sup> unobstructed area (min.)  
Refer to general notes

**DOOR SCHEDULE**

- A 8/0 X 6/8 (2438 X 2032)
- B 6/0 X 6/8 (1829 X 2032)
- C 5/0 X 6/8 (1524 X 2032)
- D 4/0 X 6/8 (1219 X 2032)
- E 3/0 X 6/8 (914 X 2032)
- F 2/10 X 6/8 (864 X 2032)
- G 2/8 X 6/8 (813 X 2032)
- H 2/6 X 6/8 (762 X 2032)
- J 2/4 X 6/8 (711 X 2032)
- K 2/0 X 6/8 (610 X 2032)
- L 1/6 X 6/8 (508 X 2032)

**WALL LEGEND**  
REFER TO SECTION NOTES FOR ASSEMBLIES

- W1 2" X 4" STUD EXTERIOR WALL
- W2 2" X 4" STUD INTERIOR WALL
- W3 1 1/2" RATED WALL 2" X 4" OR 2" X 6" STUD 1.0 HR. FRR
- 8" THK. FNDN WALL
- 14" X 8" CONCRETE STRIP FOOTING

**PROFESSIONAL SEALS**

Blank area for professional seals.

**CONSULTANTS**

Blank area for consultants.

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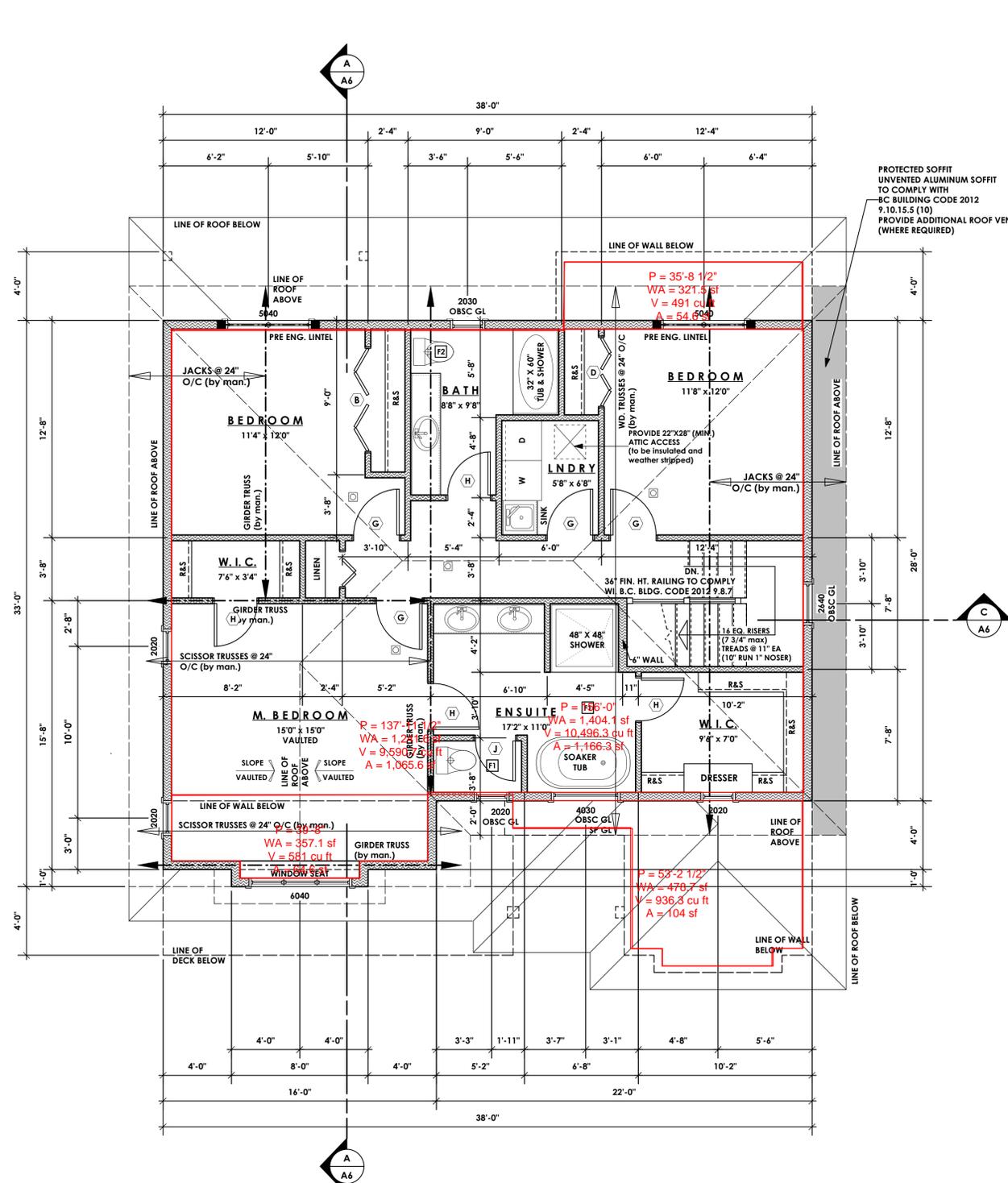
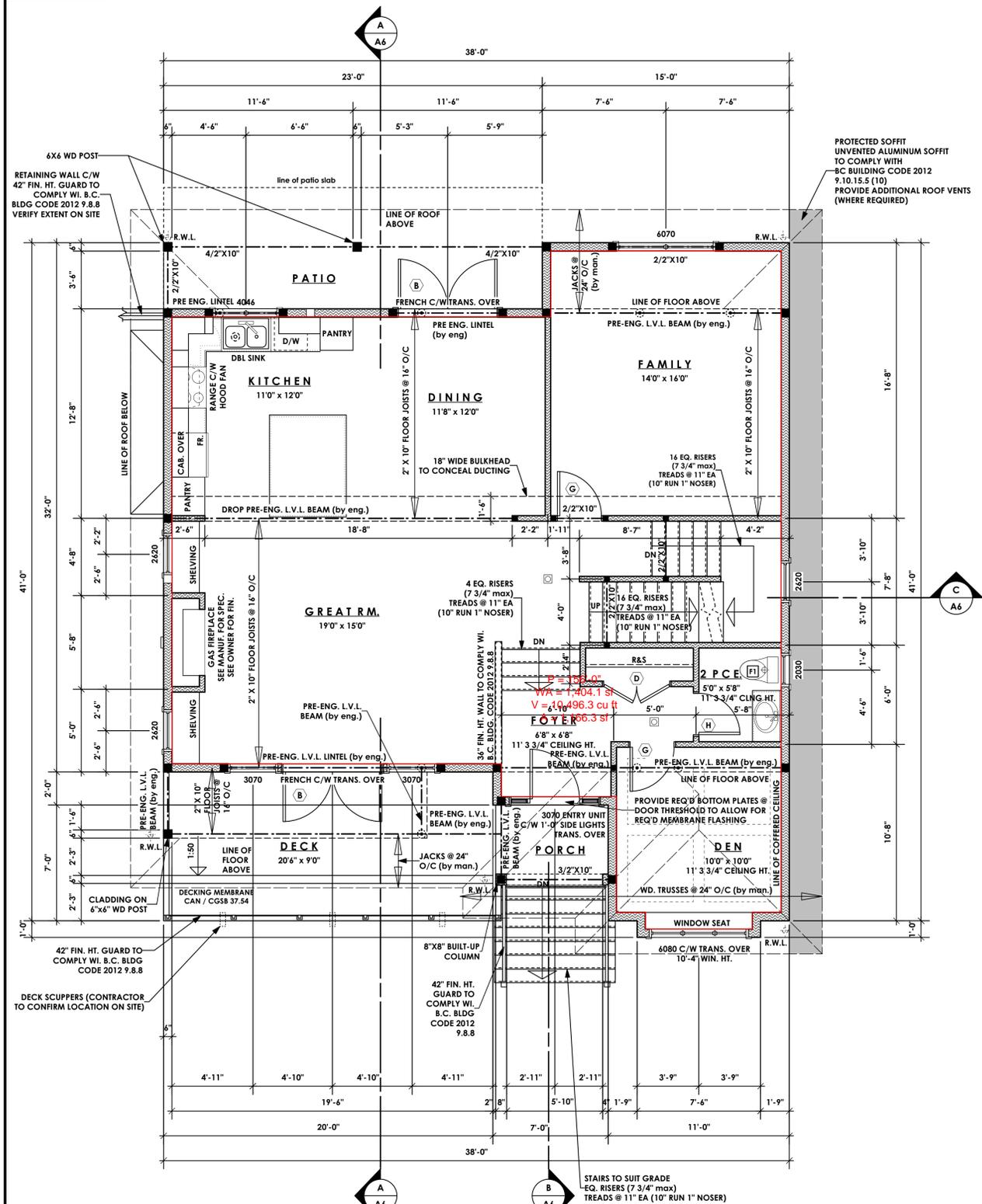
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ATLANTA AVENUE  
VICTORIA, B.C.  
V8B 0A6  
PH: 250.382.7374  
FAX: 250.382.7364  
WWW.VICTORIADESIGNGROUP.CA

DRWG NO. **7580-38**  
SHT. NO. **A4 OF A6**  
DATE **Feb 14, 2018**  
SCALE **As Shown**  
DRAWN **N.S.**  
REVIEWED BY **M.D.K.**

**FNDN & LOWER FLOOR PLANS**  
PROJECT **Proposed Residence: Langdon Weir Construction Ltd. 3539 Paperbark Cres. Lot 38 Latoria Rise Langford, B.C.**



**PROFESSIONAL SEALS**

**CONSULTANTS**

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V8B 0A6

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SHT. NO. **A5 OF A6**  
DATE **Feb 14, 2018**  
SCALE **As Shown**  
DRAWN **N.S.**  
REVIEWED BY **M.D.K.**

**MAIN & UPPER FLOOR PLANS**

PROJECT **Proposed Residence: Langdon Weir Construction Ltd. 3539 Paperbark Cres. Lot 38 Latoria Rise Langford, B.C.**

**WALL LEGEND**  
REFER TO SECTION NOTES FOR ASSEMBLIES

W1	2"x4" STUD EXTERIOR WALL
W2	2"x4" STUD INTERIOR WALL
W3	W16 RATED WALL 2"x4" OR 2"x6" STUD 1.0 HR. FRR
	8" THK. FNDN WALL
	14" X 8" CONCRETE STRIP FOOTING

**DOOR SCHEDULE**

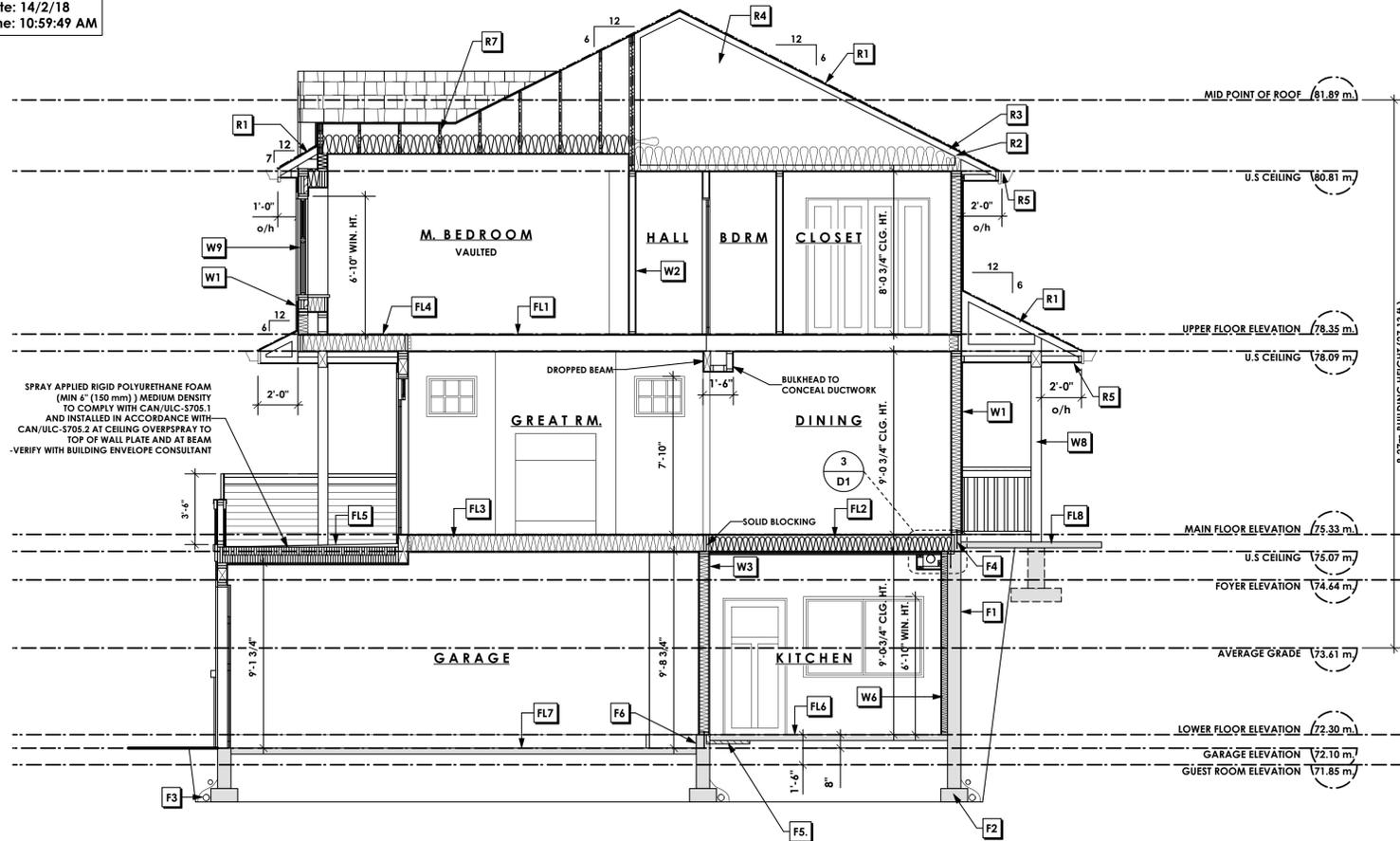
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F	2/10 X 6/8 (864 X 2032)
G	2/8 X 6/8 (813 X 2032)
H	2/6 X 6/8 (762 X 2032)
J	2/4 X 6/8 (711 X 2032)
K	2/0 X 6/8 (610 X 2032)
L	1/6 X 6/8 (508 X 2032)

**Mechanical Exhaust Fans**

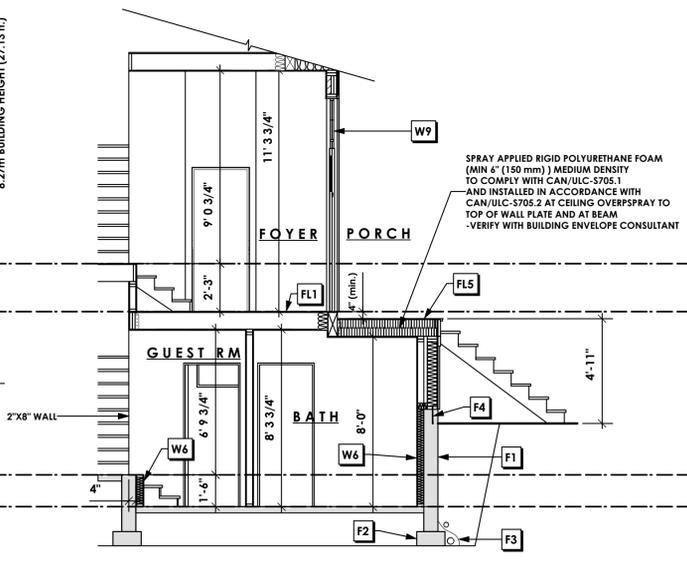
F1	23L/s (50 CFM) Intermittent OR 9 L/s (20 CFM) continuous
F2	35L/s (60 CFM) continuous
F3	14L/s (30 CFM) continuous
F4	Passive supply grille 25cm <sup>2</sup> unobstructed area (min.)

Refer to general notes

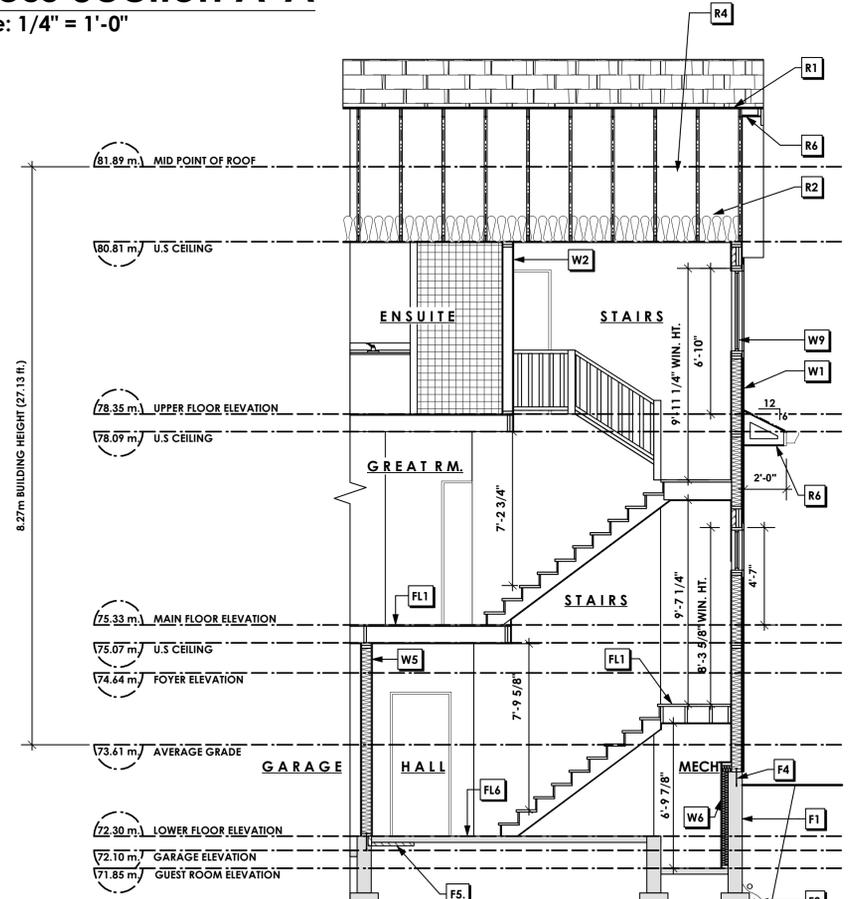
■	SOLID BLOCKING
□	B/U WD POST (LOAD ABOVE)
●	POINT LOAD



1 Cross Section A-A  
Scale: 1/4" = 1'-0"  
A6



2 Cross Section B-B  
Scale: 1/4" = 1'-0"  
A6



3 Cross Section C-C  
Scale: 1/4" = 1'-0"  
A6

**Walls**

- W1. CONC. FIBRE SIDING (James Hardie or eq.) ON 9.5mm (3/8") AIR SPACE / STRAPPING 3/8"-2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.) 1/2" ORIENTED STRAND BOARD 2x4 STUDS @ 16" O/C R-20 INSULATION 6 MIL. POLYETHYLENE VAPOUR BARRIER 1/2" GYPSUM BOARD (refer to details on D1)
- W2. INTERIOR PARTITION 1/2" GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" o/c OR 2x6 STUDS @ 16" o/c (if noted)
- W3. B.C. BUILDING CODE 2012 (A-9.10.3.1.A) RATED WALL ASSEMBLY W/1d 1 LAYER 5/8" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C w/ R-20 INSULATION 6MIL. POLY'N V.B 1 LAYER 5/8" X-TYPE GYPSUM BOARD 1 HR. F.R.R. 36 S.I.C. (between secondary suite & garage)
- W4. B.C. BUILDING CODE 2012 (A-9.10.3.1.A) RATED WALL ASSEMBLY W/1d 1 LAYER 5/8" X-TYPE GYPSUM BOARD ON EACH SIDE OF 2x4 STUDS @ 16" O/C OR 2x6 STUDS @ 16" O/C (if noted) c/w 3 1/2" FIBRE GLASS SOUND BATTS 1 HR. F.R.R. 36 S.I.C. (between secondary suite & primary living) (not shown in section)
- W5. 5/8" X-TYPE GYPSUM BOARD ON 2x4 STUDS @ 16" o/c c/w R-20 INSULATION 6MIL. POLY'N V.B 1/2" GYPSUM BOARD (between garage & living)
- W6. FURRING WALL 1/2" GYPSUM BOARD ON 6 MIL. POLY'N V.B. 2x4 STUDS @ 24" o/c c/w R-12 BATT INSULATION 2 PLY 30 MINUTE BUILDING PAPER OR 12.7mm (1/2") AIR SPACE (provide required firestops in wall assemblies to comply with B.C. Bldg. Code 9.10.16.6)
- W7. PRE-MANUFACTURED STONE VENEER (Installed to manuf. spec) LIME BASED MORTAR SETTING BED ON LIME BASED MORTAR SCRATCH COAST ON METAL LATHE INSTALLED HORIZONTALLY OVERLAP HORIZONTAL AND VERTICAL SEAMS 1" SEMI-RIGID BACK BOARD (HAL-TEX RAINBOARD OR EQ.) 9.5mm (3/8") AIR SPACE / STRAPPING 3/8"-2" BORATE TREATED PLYWOOD STRAPPING HOUSE WRAP (A.B.) (TYVEK OR EQ.)
- W8. 6" X 6" POST ANCHORED TO 10" DIA CONC. PEDESTAL 30" X 30" X 10" CONC. PAD FIG c/w 4 - 15M REBAR BOTH WAYS ON SOLID UNDISTURBED BEARING
- W9. DOUBLE GLAZING ENERGY STAR LOW "E" RATING IN THERMAL BREAK FRAMES 2/2" X 10" LINTEL OVER (8" bearing walls only) TYPICAL W/ 2 1/2" INSULATION FLASHING OVER EXTERIOR (glazing in all exterior doors & within 3 ft. of exterior doors to be shatterproof (SP) WINDOW REQUIREMENTS DERIVED FROM BCBC TABLE C-4 AS PER BCBC 9.7.4.3. AND ARE TO BE USED TO SATISFY THE REQUIREMENTS OF A.A.M./W.D.M.A./C.S.A. 101.15.2.4.4.4. "NAFS": Langford, CLASS R, DP 960, PG 20, WATER RESIST. 220, A2, RATINGS MUST BE CLEARLY LABELED ON ALL WINDOW UNITS UPON INSTALLATION FOR INSPECTION.

**Roofs**

- R1. LAMINATED ASPHALT SHINGLES ON 1/2" ORIENTED STRAND BOARD C/W "H" CLIPS WD TRUSSES (DESIGNED BY MANUF.) 14 1/2" FIBRE GLASS LOOSE FILL INSULATION (ALLOW FOR SETTLING) 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD
- R2. PROVIDE 2 1/2" (63mm) CLEAR BETWEEN R-40 INSULATION AND SHEATHING. (min. R-20 @ roof-wall connection)
- R3. EAVE PROTECTION CONT. UP ROOF SLOPE FOR 12" PAST EXTERIOR WALL
- R4. PROVIDE 1 SQ.FT. ATTIC VENT PER 300 SQ.FT. OF INSULATED AREA MIN. 25% OF REQUIRED TO BE @ TOP AND BOTTOM (to comply w/ B.C. bldg. code 9.19.1)
- R5. PRE-FIN. ALUMINUM FASCIA GUTTER 2"x4" SUB. FASCIA BD. VENTED SOFFIT TO COMPLY W/ B.C. BLDG. CODE 2012 9.10.15.5 (10) (WHERE REQ'D)
- R6. PROTECTED SOFFIT UNVENTED ALUMINUM SOFFIT TO COMPLY WITH B.C. BLDG. CODE 2012 9.10.15.5 (10) (WHERE REQ'D)
- R7. LAMINATED ASPHALT SHINGLES ON 1/2" ORIENTED STRAND BOARD C/W "H" CLIPS SCISSOR TRUSSES (DESIGNED BY MANUF.) R-40 BATT. INSULATION 6 MIL POLY'N V.B. 5/8" GYPSUM BOARD

**Floors**

- FL1. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2"x10" FLOOR JOISTS @ 12" OR 16" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) 1/2" GYPSUM BOARD
- FL2. F9b RATED FLOOR ASSEMBLY (2012 BCBC table A-9.10.3.1.B) FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) 2"x10" FLOOR JOISTS @ 16" O/C (min.) C/W R-28 F/G BATT INSULATION RESILIENT CHANNELS @ 16" O/C 2 LAYERS 5/8" X-TYPE GYPSUM BOARD FR: 1.0 hr. STC: 52
- FL3. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2"x10" FLOOR JOISTS @ 12" OR 16" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) R-31 INSULATION 6 MIL POLY'N V.B. 5/8" X-TYPE GYPSUM BOARD (between garage and living space)
- FL4. FINISHED FLOORING ON 5/8" T&G PLYWOOD OR EQ. (nailed & glued to floor struct. below) ON 2"x10" FLOOR JOISTS @ 12" OR 16" O/C C/W 2x2 X-BRIDGING @ 7.0' O/C (max) PROVIDE R-31 F/G BATT INSULATION IN JOIST CAVITY C/W VENTED SOFFIT (to owners spec's) TO ALL SUSPENDED FLOOR AREAS
- FL5. DECKING MEMBRANE (to comply with CAN/CSB 97.54) ON 5/8" ORIENTED STRAND BOARD C/W "H" CLIPS TAPERS TO PROVIDE MIN. 1:50 SLOPE ON 2"x10" DECK JOISTS @ 12" OR 16" O/C SPRAY APPLIED RIGID POLYURETHANE FOAM (MIN 6" (150 mm) ) MEDIUM DENSITY AND INSTALLED IN ACCORDANCE WITH CAN/ULC-5705.2 (VERIFY WITH BUILDING ENVELOPE CONSULTANT) (provide adequate membrane "upstand" @ ext. wall.)
- FL6. FINISHED FLOORING ON 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND
- FL7. 3 1/2" CONCRETE SLAB 6 MIL. POLY'N V.B. 6" COMPACTED GRAVEL OR SAND SLOPE TO DOORS 1"
- FL8. EXPOSED AGG. FIN. 3.5" CONCRETE SLAB 6" COMPACTED GRAVEL OR SAND (patio)

**Foundation Walls**

- F1. DAMPROOFING (where required) ON 8" THK. CONC. FOUNDATION WALL C/W 15 M BARS @ 24" o/c B/W
- F2. 16" X 8" CONC. FOOTINGS C/W 2 (TWO) 15m BARS CONT. 3 IN. FROM BOTH ON UNDISTURBED SOIL (SOLID BEARING)
- F3. 4" PERIMETER DRAIN 3" TIGHT PIPE FOR RWL DRAIN ROCK
- F4. ANCHOR BOLTS @ 4.0 FT. o/c MAX c/w SILL GASKETS
- F5. UNDER SLAB INSULATION 2 1/2" (RSI 2.15) EXTRUDED POLYSTYRENE RIGID INSULATION 4'-0" (1.2m) CONT. AROUND PERIMETER UNDER SLAB INSTALLED HORIZONTALLY OR VERTICALLY FOR SLABS ABOVE FROST LINE. (verify with municipality depth of frost line)
- F6. STEP DOWN TO GARAGE SLAB MAY VARY. VERIFY EXTENT ON SITE

PROFESSIONAL SEALS


CONSULTANTS


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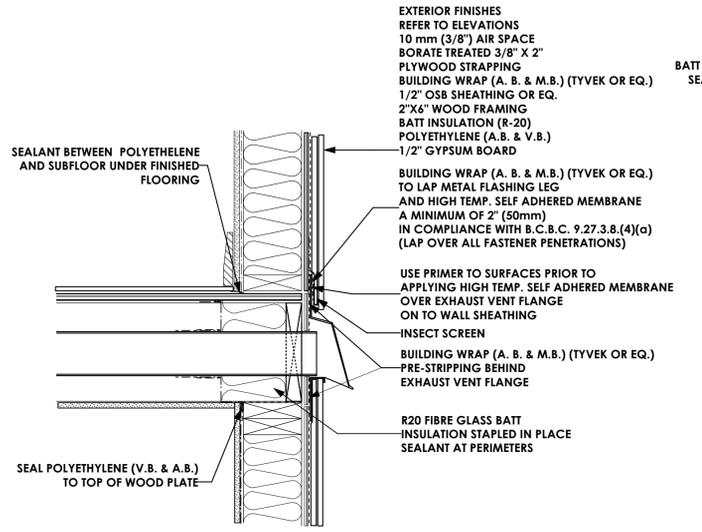
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DRWG NO.	7580-38
SHT. NO.	A6 OF A6
DATE	Feb 14, 2018
SCALE	As Shown
DRAWN	N.S.
REVIEWED BY	M.D.K.

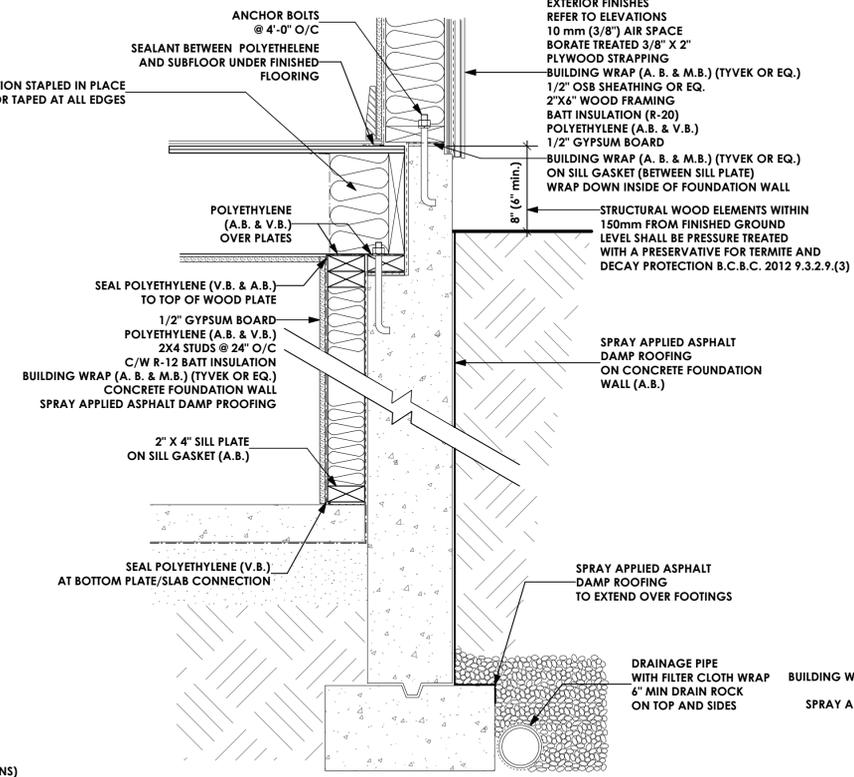
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**CROSS SECTION**

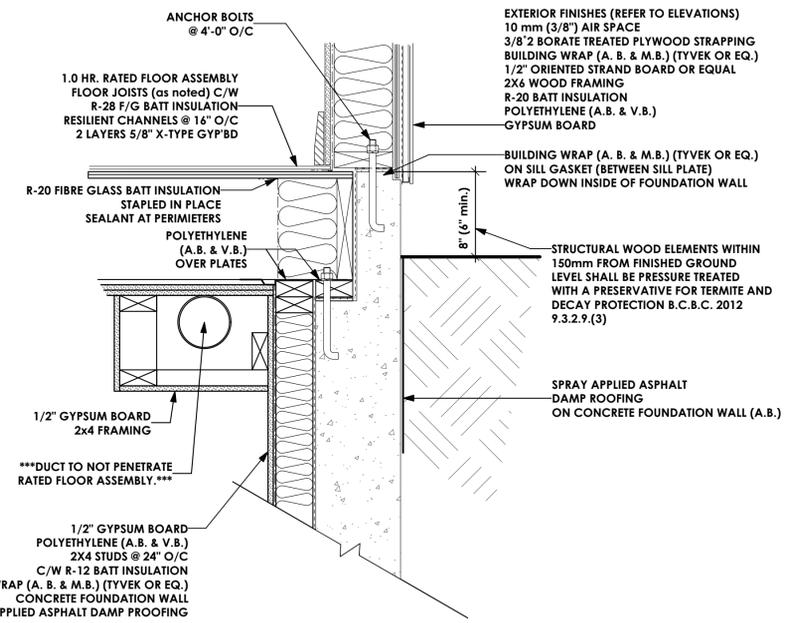
PROJECT **Proposed Residence: Langdon Weir Construction Ltd. 3539 Paperbark Cres. Lot 38 Latoria Rise Langford, B.C.**



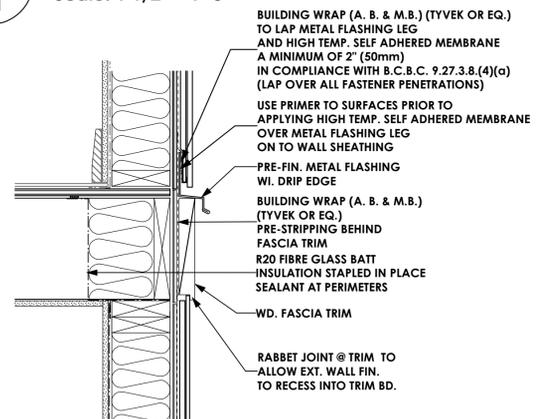
**1 Wall Exhaust Vent**  
Scale: 1 1/2" = 1'-0"  
PRIMEX CAP (OR EQ.) REFER TO MANUF. FOR SPECIFICATIONS & INSTALLATION



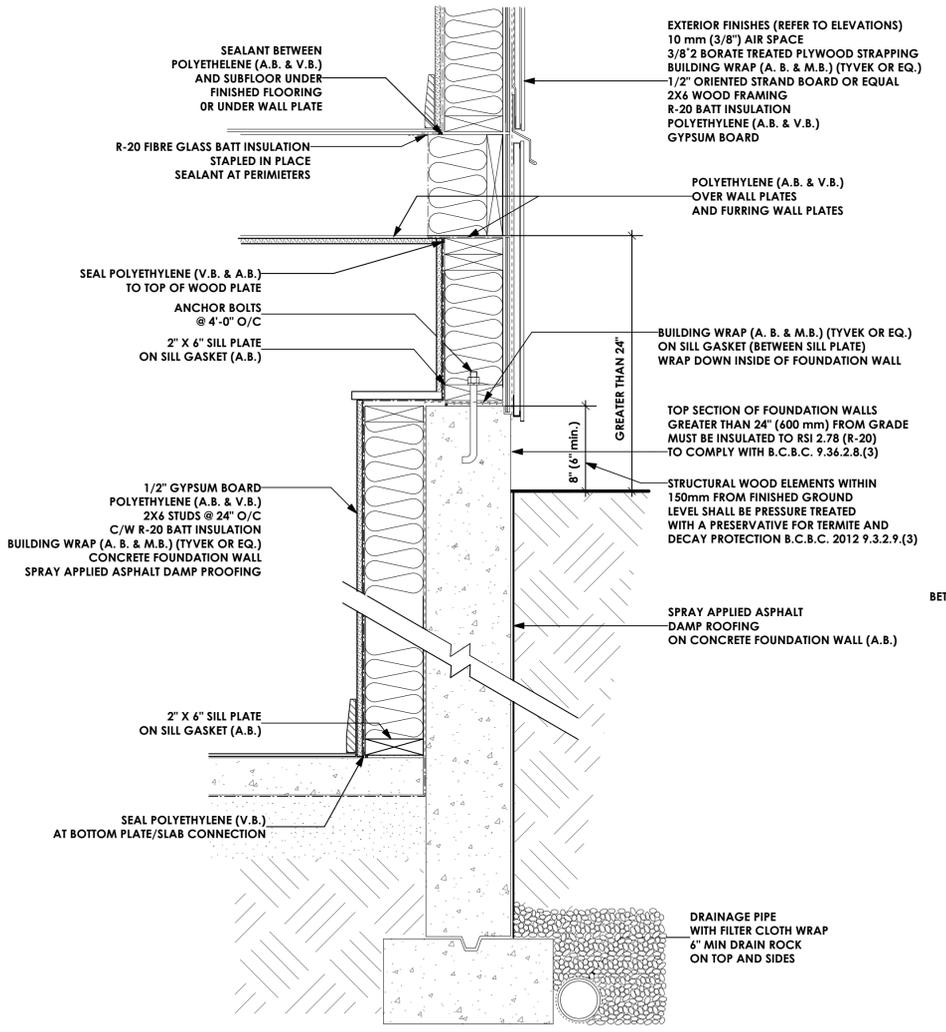
**2 Concrete Joist Ledge**  
Scale: 1 1/2" = 1'-0"



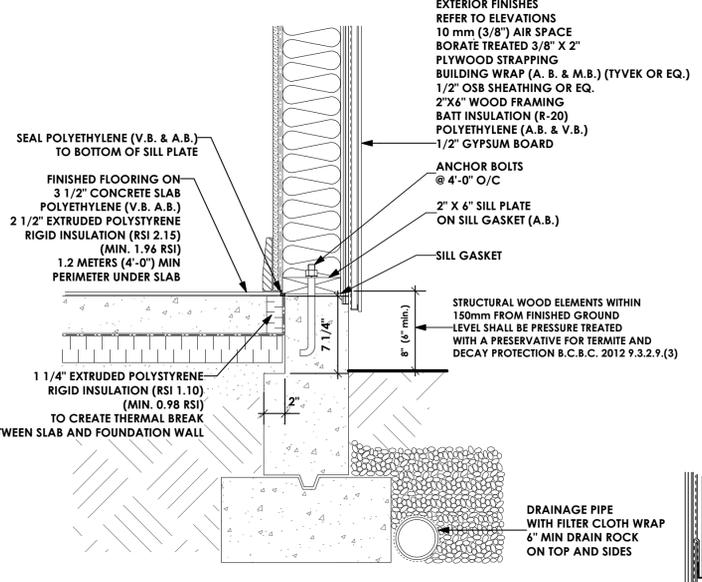
**3 Bulk Head (Suite)**  
Scale: 1 1/2" = 1'-0"



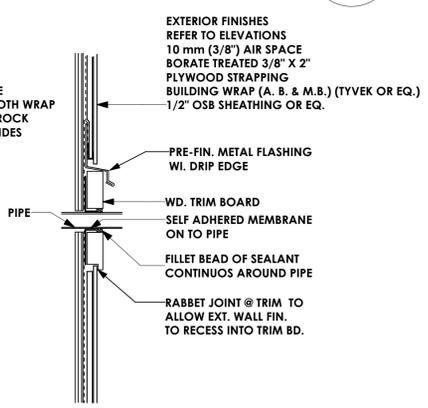
**6 Trimmer Joist**  
Scale: 1 1/2" = 1'-0"



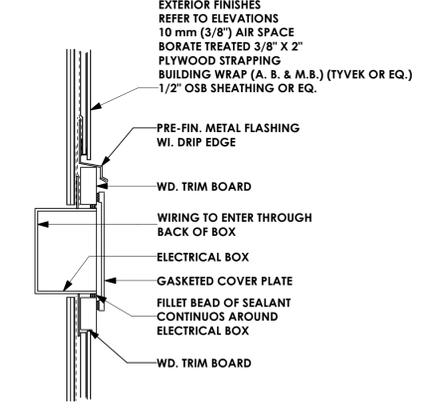
**4 Basement Furring Wall**  
Scale: 1 1/2" = 1'-0"



**5 Slab on Grade**  
Scale: 1 1/2" = 1'-0"



**7 Pipes**  
Scale: 1 1/2" = 1'-0"



**8 Electrical Fixtures**  
Scale: 1 1/2" = 1'-0"

PROFESSIONAL SEALS

CONSULTANTS

LIST OF DRAWINGS

A1	General Notes
A2	Siteplan
A3	Elevations
A4	Foundation & Lower Floor Plans
A5	Main & Upper Floor Plans
A6	Section
D1	Rainscreen Details
D2	Rainscreen Details

ISSUED/REVISED

No.	DATE	ISSUED/REVISED
01	01/09/18	Siting
02	01/22/18	Client Check-set
03	02/14/18	For B.P. Submission
04		
05		
06		
07		
08		

General Contractor and/or Owner to verify and thoroughly review all aspects of plan prior to commencement and setting out of all work. Any discrepancies are to be reported to Building Designer immediately. Building Designer not liable for changes made to plan on site or failure to report discrepancies. Refer to General notes included on plan.

Structural Engineer to review plan (where required), and specify structure as deemed necessary. It is the responsibility of the owner or contractor to verify and commission all engineering requirements with municipal building departments prior to starting work.

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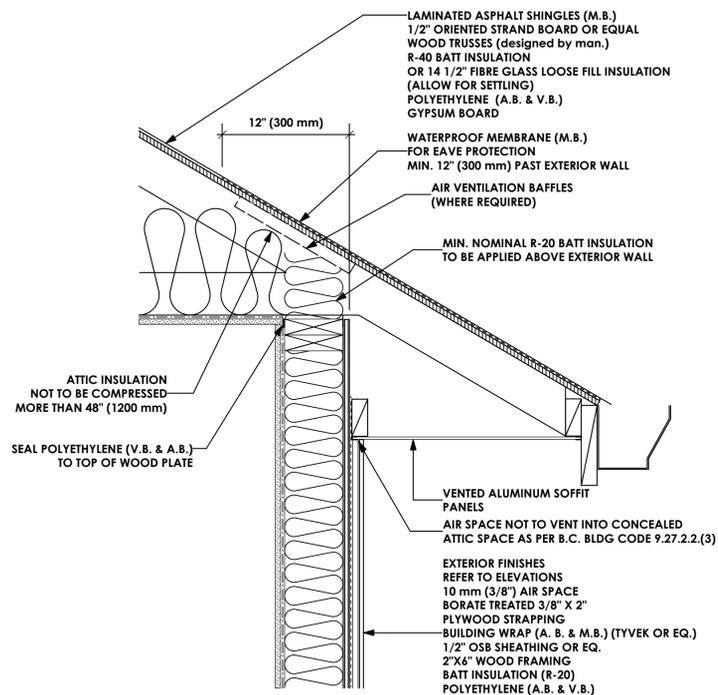
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103 - 801  
ATLANTA AVENUE  
VICTORIA, B.C.  
V8B 0A6  
PH: 250-382-7374  
FAX: 250-382-7364  
WWW.VICTORIADESIGNGROUP.CA

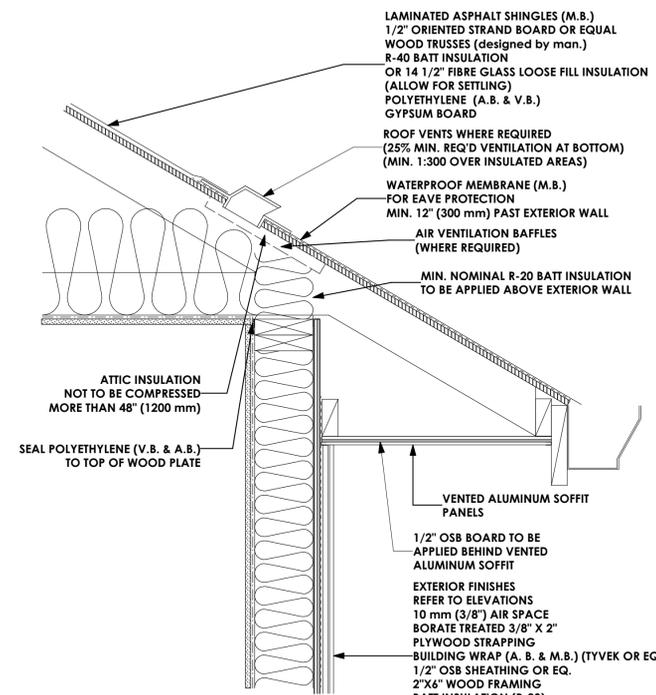
DRWG NO. **7580-38**  
SHT. NO. **D1 OF D2**  
DATE **Feb 14, 2018**  
SCALE **As Shown**  
DRAWN **N.S.**  
REVIEWED BY **M.D.K.**

RAINSCREEN DETAILS

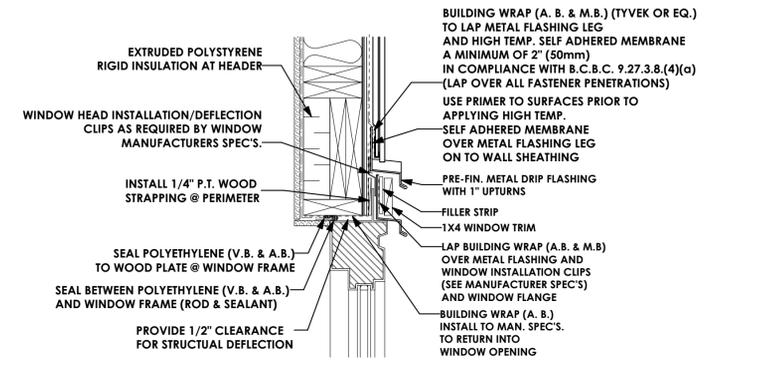
PROJECT **Proposed Residence:  
Langdon Weir  
Construction Ltd.  
3539 Paperbark Cres.  
Lot 38 Latoria Rise  
Langford, B.C.**



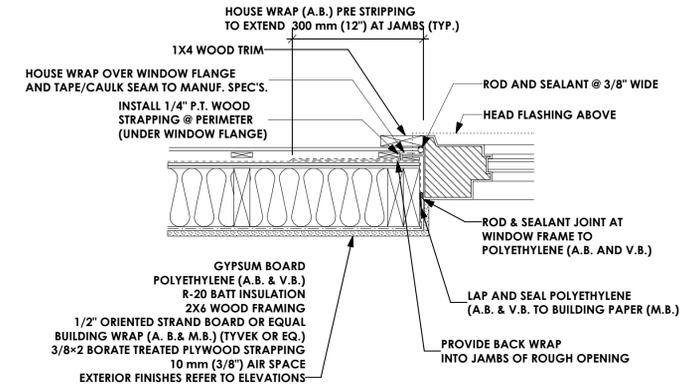
**1 Water Shedding Roof / Wall**  
Scale: 1 1/2" = 1'-0"  
D2



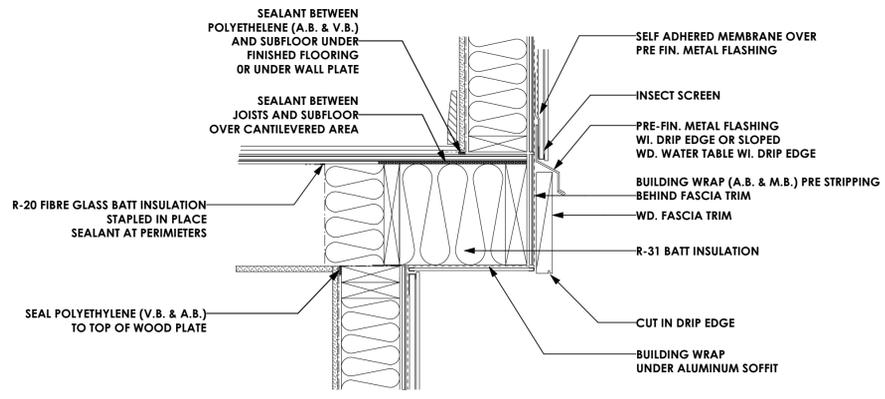
**2 Soffit Protection**  
Scale: 1 1/2" = 1'-0"  
2012 BC BUILDING CODE 9.10.15.5 (10)  
(USE PROVIDED DETAIL WHEN ROOF OVERHANG IS WITHIN 1.20M OF PROPERTY LINE)  
D2



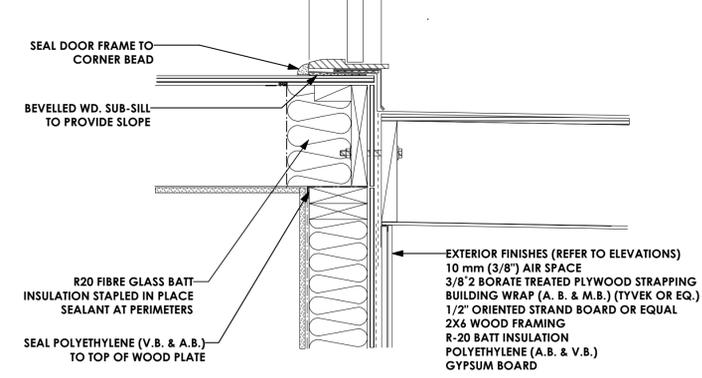
**3 Window Head**  
Scale: 1 1/2" = 1'-0"  
D2



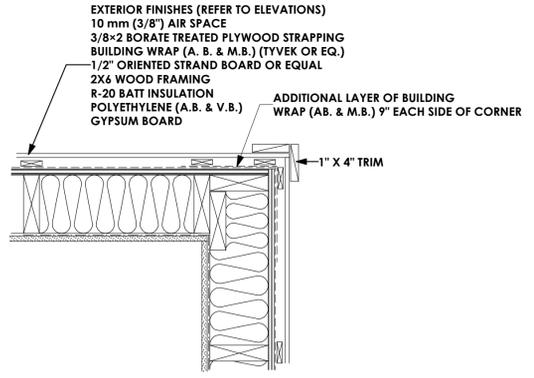
**6 Window Jamb**  
Scale: 1 1/2" = 1'-0"  
D2



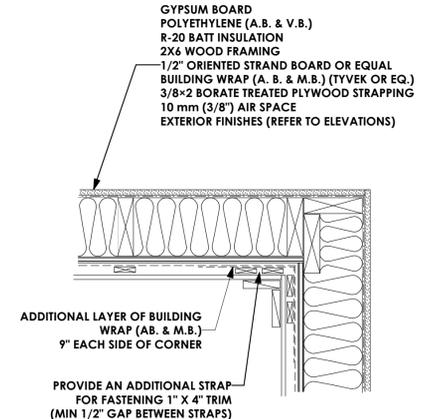
**4 Cantilevered Floor**  
Scale: 1 1/2" = 1'-0"  
D2



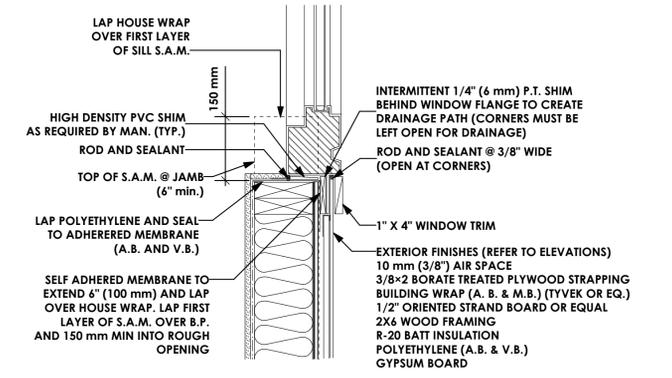
**5 Door Sill Protected Membrane**  
Scale: 1 1/2" = 1'-0"  
D2



**7 Exterior Corner**  
Scale: 1 1/2" = 1'-0"  
D2



**8 Interior Corner**  
Scale: 1 1/2" = 1'-0"  
D2



**9 Window Sill**  
Scale: 1 1/2" = 1'-0"  
D2

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	SHT. NO.	D2 OF D2
	DATE	Feb 14, 2018
	SCALE	As Shown
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